



SH&BA Smart Homes & Buildings Association

Announcing the Smart Homes & Buildings Association

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SH&BA Secretariat

iHEAT Conference – 13th November 2012

Cambridge

www.cir-strategy.com/events/heat

AGENDA

SH&BA Smart Homes & Buildings Association

1. How to take TAHI forward and meet aspirations
2. Panels and Working Groups
3. Energy Panel and Future City Panel
4. Launch
5. Case Study

A New Vision

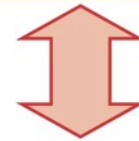
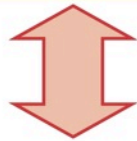
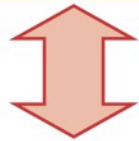
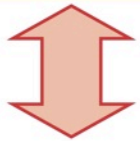
- Homes and Buildings are getting smarter and more complex
- Systems, sectors and information are converging
- Interoperability is key but poorly understood
- There is the Cloud, the Future Internet and the Internet of Things
- How does all of this fit together and help us build cleverer homes and cities
- Can we build an Interoperability Ecosystem
- The Smart Homes & Buildings Association is designed for understanding the issues AND for doing something about them
- To Think, to Understand, to Do

Panels & Working Groups

SH&BA PANELS

Multi-Disciplinary - Multi-Sector

Searching for and Understanding Issues, identifying new solutions, strategies



SH&BA WORKING GROUPS

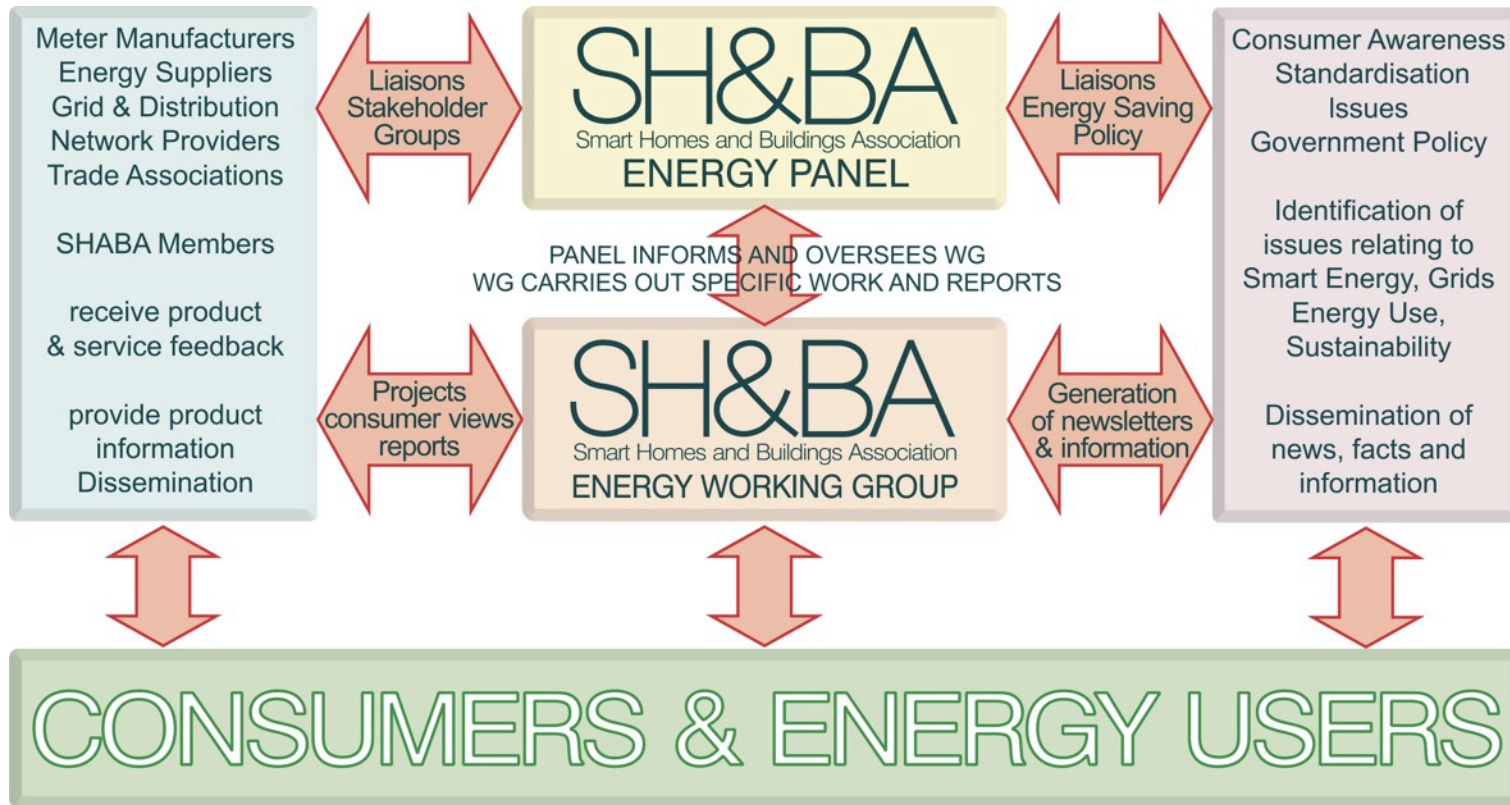
Specific Task Oriented - Get things done

WGs will be set up to address particular issues, specific problems, new opportunities find solutions and then work towards new products or services

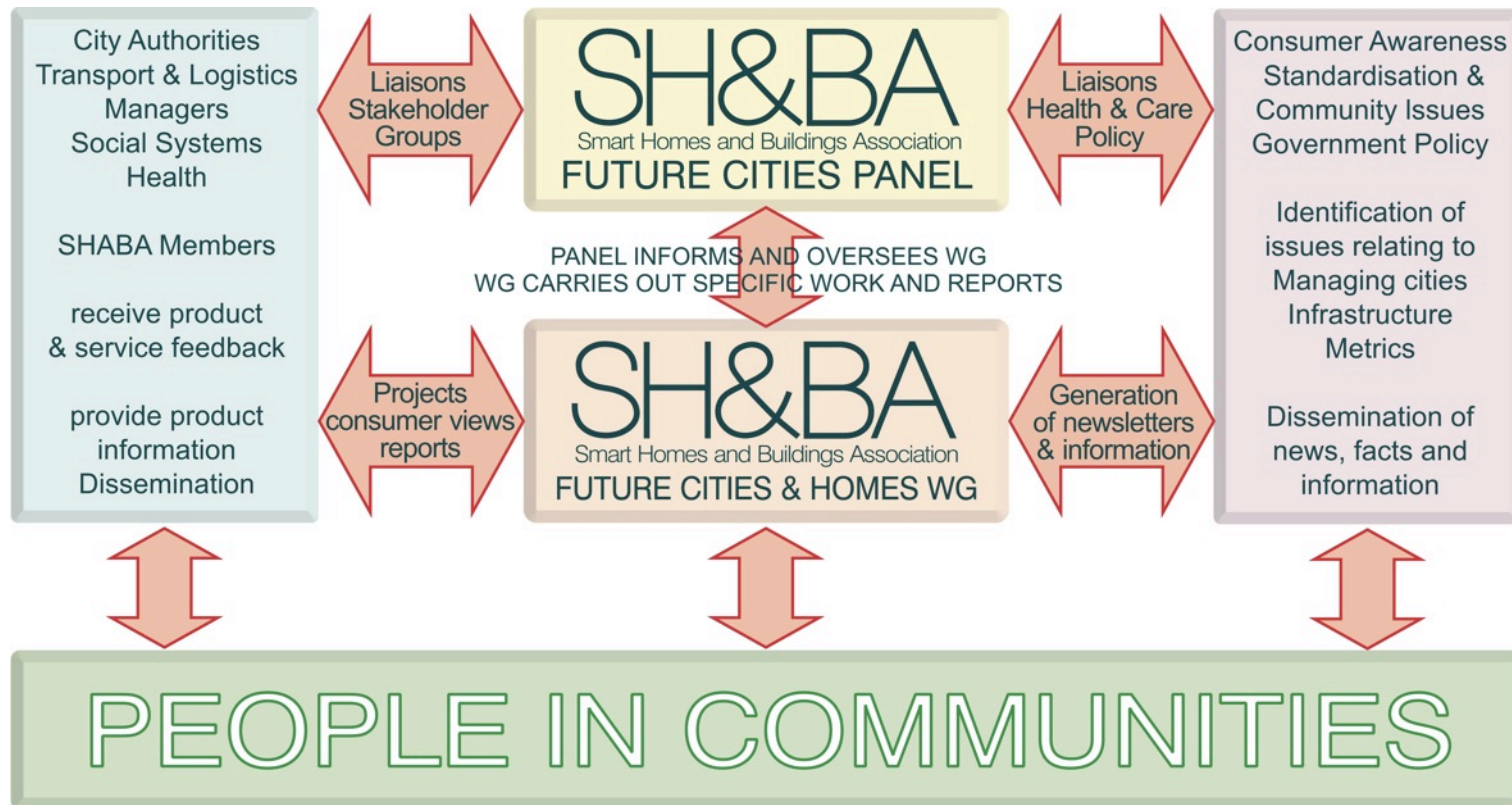
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ACTION

- Dedication to understanding markets, sectors, technology
- Seizing opportunities, Setting Strategies
- Working Groups to deliver the answers



- The Panel involves all the smart energy players
- Identifies issues, drives smart and sustainability
- The WG works with industry for economic home comfort



- This Panel covers everything to do with Communities in the Built Environment and all the systems this implies
- The WG will look at issues around Energy loss from buildings, the Green Deal and other interventions

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Will be launched on 21st November 2012

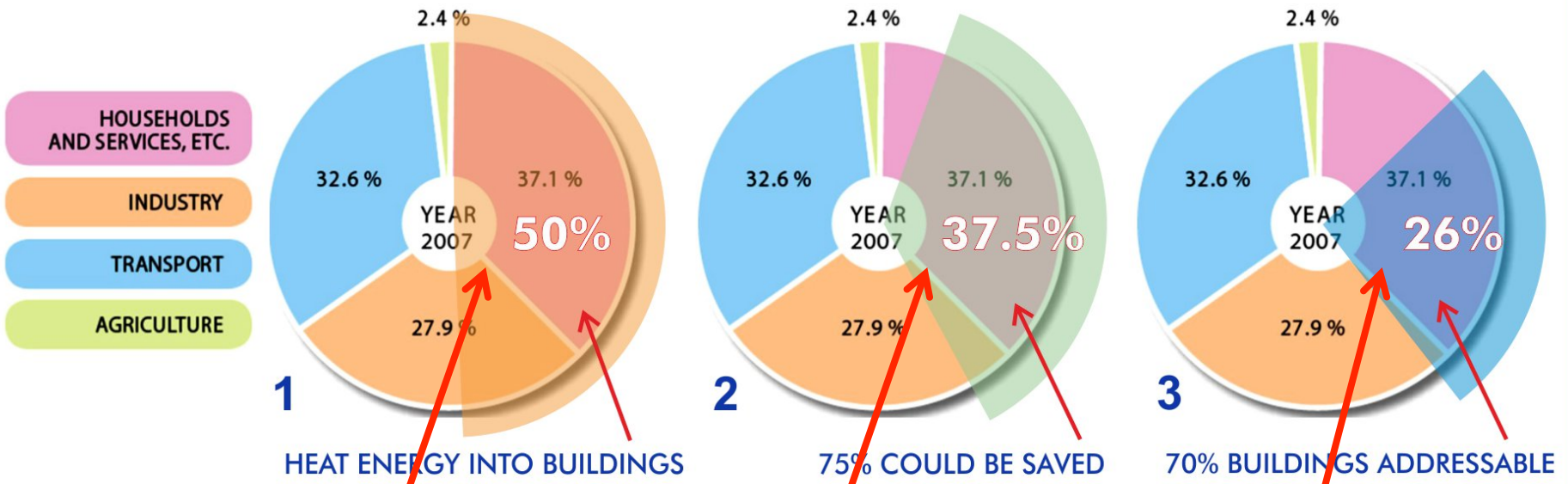
A Use Case

A Typical question for a Panel.

- How much energy does the UK building stock use every year?
- Theoretically how much could we save?
 - Through clever energy management
 - Through better insulation and airtightness
- How much is it reasonable to expect we could save?
 - Through refurbishment to around near Passiv Haus standards
 - But not all listed or historic or

Answers from DUKES*

ENERGY THAT A WELL PLANNED REFURBISHMENT PROGRAMME COULD POTENTIALLY SAVE



Around £60 Billion

About £45 Billion

About £30 Billion

■ So what can be done?

* Digest of UK Energy Statistics

- There is the Green Deal but
 - A “proper” refurbishment will cost around £18k per home (average)
 - There are around 27 Million homes that need refurbishment to get close to energy neutrality* (and commercial buildings as well)
 - If we did 1 million homes each year for 25 years this would cost £18 Billion per year
 - We would need to industrialise the refurbishment process
 - But each of those homes would be carbon neutral or better.
 - And their occupiers would be around £1,000 per year better off
- Does the Green Deal stack up?

* Similar to Passiv Haus standards or Code for Sustainable Homes level 5

- Does £1,000 pa. saving pay off borrowings of £18k?
 - However, an industrialised refurbishment programme will employ 100's of Thousands of people
 - Much of that £18k will go into the local economy
 - RICS estimated that this sort of construction work has a multiplier effect of 2.84. So is this an engine for growth?
 - It would also increase tax take by HMRC and reduce benefits
 - If taken together could these equate to the £18 Billion pa.?
 - And reduce fossil fuel imports – ultimately to zero?
- Is there a case for more or different incentives?

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ANY QUESTIONS?

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